



**METROPOLITAN PLANNING COMMISSION**

*"Planning the Future - Respecting the Past"*

M E M O R A N D U M

**DATE:** MAY 19, 2020  
**TO:** THE MAYOR AND ALDERMEN OF THE CITY OF SAVANNAH  
**FROM:** METROPOLITAN PLANNING COMMISSION  
**SUBJECT:** MPC RECOMMENDATION

**PETITION REFERENCED:**

**Proposed amendment to a previously approved Planned Development**

**Re: Savannah River Landing / Eastern Wharf**

**Amend Section 8-3351 General Development Standards**

**Amend Section 8-3353 Definitions – Multi Family Residential**

**Amend Section 8-3353 Definitions – Stacked Townhouse**

**Amend Master Plan**

**Applicant: PMC SRL, LLC**

**Agent: Harold B. Yellin (Hunter MacLean)**

**File No. 20-001996-ZA**

**MPC ACTION:**

**Approval** of the request to amend the Eastern Wharf Planned Development / Master Plan as submitted.

**MPC STAFF RECOMMENDATION:**

**Approval** of the request to amend the Eastern Wharf Planned Development / Master Plan as submitted.

**MEMBERS PRESENT:** 10 + Chairman

Joseph Ervin, Chairman  
Thomas Branch  
Travis Coles  
Karen Jarrett  
Tanya Milton  
Wayne Noha  
Eula Parker  
Lee Smith

Linder Suthers  
Joseph Welch  
Tom Woiwode

**PLANNING COMMISSION VOTE:** Approve Staff Recommendation (11-0)

<b>APPROVAL</b> Votes: 11	<b>DENIAL</b> Votes: 0	<b>ABSENT</b>
Ervin Branch Coles Jarrett Milton Noha Parker Smith Suthers Woiwode Welch		Cook Manigault Monahan

Respectfully submitted,



Melanie Wilson  
Executive Director

/jh

Enclosure

cc Mark Massey, Clerk of Council  
Lester B. Johnson, Assistant City Attorney  
Jennifer Herman, Assistant City Attorney  
Beth Barnes, Department of Inspections





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# METROPOLITAN PLANNING COMMISSION

*"Planning the Future - Respecting the Past"*

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M E M O R A N D U M

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**TO:** The Mayor and Aldermen, City of Savannah

**FROM:** MPC Staff

**DATE:** May 19, 2020

**SUBJECT:** Proposed amendment to a previously approved Planned Development  
**Re: Savannah River Landing / Eastern Wharf**  
**Amend Section 8-3351 General Development Standards**  
**Amend Section 8-3353 Definitions – Multi Family Residential**  
**Amend Section 8-3353 Definitions – Stacked Townhouse**  
**Amend Master Plan**

**Applicant: PMC SRL, LLC**  
**Agent: Harold B. Yellin (Hunter MacLean)**  
**File No. 20-001996-ZA**

**Marcus Lotson MPC Project Planner**

**ISSUE:**

A request to amend a previously approved Planned Development (PD) for the purpose amending existing development standards related to setbacks, definitions and height.

**BACKGROUND:**

The Eastern Wharf Planned Development is located east of the Historic District and is bounded approximately by General McIntosh Boulevard to the west, Truman Parkway to the east, the Savannah River to the north and President Street to the south. It is approximately 56 acres in size and is currently governed by Appendix A-2.5 of the Savannah Zoning Ordinance. The property was originally rezoned in 2004 to the PUD-MXU (Planned Unit Development-Mixed Use) zoning classification to allow for a mixed-use development. In 2017, the subject property was rezoned to the Savannah River Landing Planned Unit Development with an accompanying Master Plan.

**FINDINGS:**

1. The residential portion of Eastern Wharf, which is primarily in the northeast quadrant of the development, has established development standards that were created during the reasoning process. The remaining portion of the development is a mixed-use commercial center which

allows hotels, offices, restaurants and other nonresidential uses. The proposed amendments only apply to certain residential pods and only within the boundaries of the Eastern Wharf Planned Development.

2. The proposed amendments are in response to building design choices being made by the developer, which they assert will respond to desires found in the current housing market now that the project is underway. It is typical in a Master Planned community to adjust housing types and thus development standards throughout the course of the development, due to the length of time that passes from inception of the project to complete buildout.
3. The proposed changes to the existing development standards do not substantially change the nature of the development at large. Because the Master Planned area allows buildings of varying scales and heights, these changes will not likely impact other developable parcels within the Eastern Wharf Planned Development area.

#### **PROPOSED AMENDMENT:**

The purpose of the proposed amendment is to:

- To increase the front yard setback in the identified areas from 12 feet to 25 feet to accommodate courtyard style vehicular drop off.
- To define multifamily residential as a building with four or more units, currently defined as 5 or more.
- To allow a stacked townhome building type with interior lobby / courtyard entrance.
- To amend the maximum permitted height in two residential development pods (MU-R-4B) and MU-R 5B) from 60 feet to 80 feet.
- To amend the maximum permitted height in one residential development pods (MU-R-1B) 60 feet to 90 feet.

#### **POLICY ANALYSIS:**

The development standards were reflective of what was predicted to happen in the housing market. But as is typical with any long-term development process, adjustments should be considered based on market demand. The petitioner is attempting to provide a housing type that they believe will be a benefit to the Planned Development area. The amendments required to make this available do not appear to substantially change the previous approvals or have a negative impact on other developable areas within Eastern Wharf. Staff finds that the proposed changes are in keeping with the overall development pattern and that previous development approvals within Eastern Wharf will not be negatively impacted.

#### **ALTERNATIVES:**

1. Recommend approval of the request to amend the Eastern Warf Planned Development.
2. Recommend denial of the petitioner's request.

**RECOMMENDATION:**

The Planning Commission recommends approval of the request to amend the Eastern Wharf Planned Development and Master Plan.

**CURIOS PROJECTS**  
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ARCHITECTURE  
DEVELOPMENT

720 W. BURNING BUSH ROAD  
WEST PALM BEACH, FLORIDA 33411  
TEL: 561.833.3116

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CONSULTANTS:

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PATRICK  
MALLOY  
COMMUNITIES  
PRESENTS:

**THE  
HAMILTON**  
UPPER EAST RIVER  
SAVANNAH, GEORGIA

PROJECT NUMBER:  
2020-004

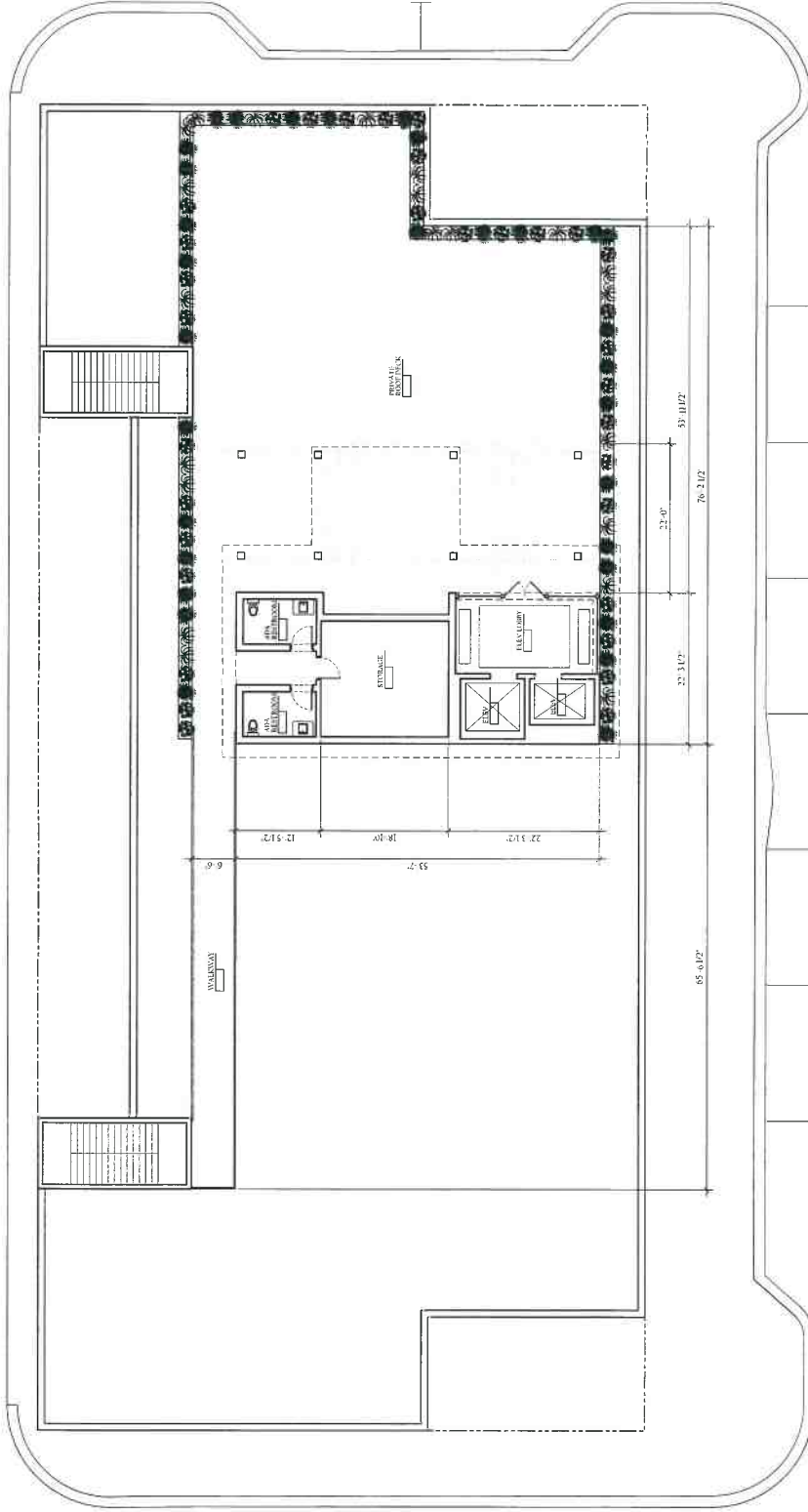
SHEET TITLE:  
LEVEL 5 -  
ROOF PLAN

PUBLISHED DRAWINGS:  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_

SHEET NUMBER:

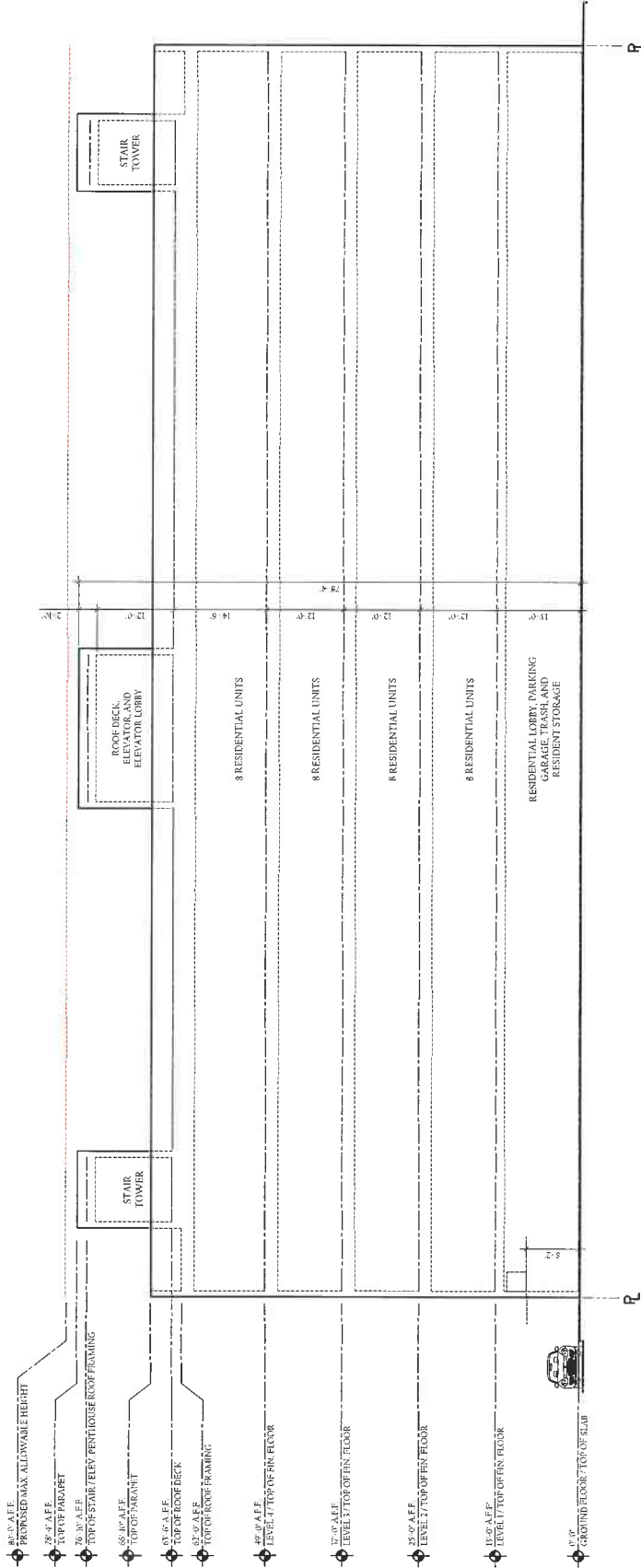
**A3.50**

(SEAL AND NOTIFICATION)



PROPOSED ROOF DECK FOR  
PUD MODIFICATION APPLICATION  
SUBMITTED TO THE CITY OF PALM BEACH COUNTY

LEVEL 5 - ROOF DECK  
1/17/2020



PROPOSED CONCEPTUAL SECTION  
FOR PUD MODIFICATION APP.  
SUBJECT TO PUD MODIFICATION PER LOCAL ORDINANCES

CONCEPTUAL SECTION  
A5.00

**CURIOS PROJECTS**  
 CREATIVE  
 ARCHITECTURE  
 DEVELOPMENT

7 POTOMAC RIDGE ROAD  
 WASHINGTON, DC 20007  
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PATRICK  
 MALLOY  
 COMMUNITIES  
 PRESENTS:

THE  
 MAYORS  
 UPPER EAST RIVER  
 BRYANNAH, GEORGIA

PROJECT NUMBER:  
 2017-016

SHEET TITLE:  
 ARCHITECTURAL  
 SITE PLAN

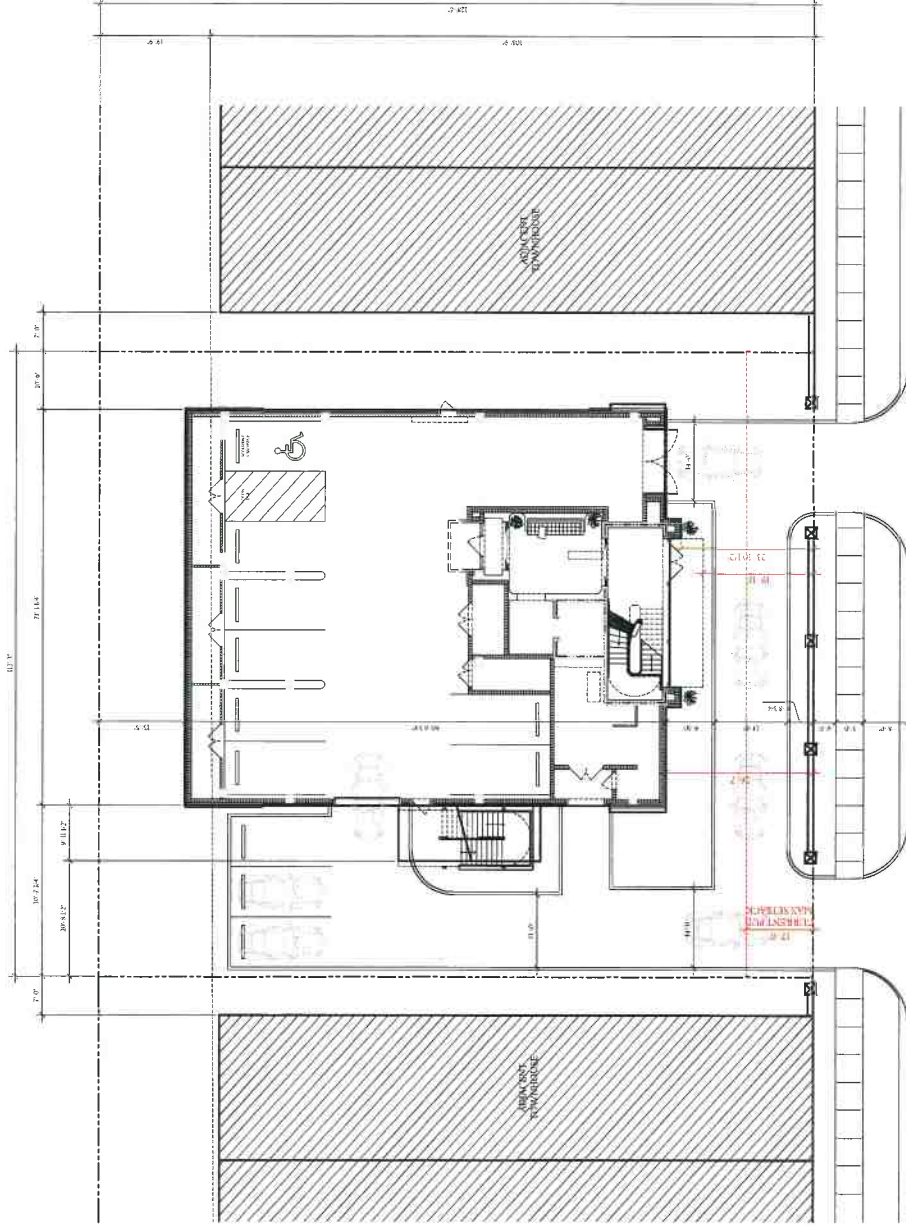
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 DATE: 08/14/17  
 DRAWN BY: JMM

SHEET NUMBER:

GL.01

NO ARCHITECTURAL APPLICATION

PROPOSED SITE PLAN FOR PUD  
 MODIFICATION APPLICATION  
 COMBINED WITH ARCHITECTURAL APPLICATION



ARCHITECTURAL SITE PLAN

NOTE: THESE PLANS AND REFERENCE CONDITIONS SHALL BE FILED TO  
 THE LOCAL AGENCY FOR REVIEW AND APPROVAL. INFORMATION  
 IS SUBJECT TO THE LOCAL AGENCY'S REVIEW AND APPROVAL.



**CURIOUS PROJECTS**  
**CREATIVE ARCHITECTURE DEVELOPMENT**

3 AUTUMN RIDGE ROAD  
 NORTON, MASSACHUSETTS 01946  
 TEL: 978.853.3360

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PATRICK MALLOY COMMUNITIES PRESENTS:

**THE MAYORS**  
 UPPER EAST RIVER  
 SAVANNAH, GEORGIA

PROJECT NUMBER:  
 2019-018

SHEET TITLE:  
 PENTHOUSE AND DECK PLAN

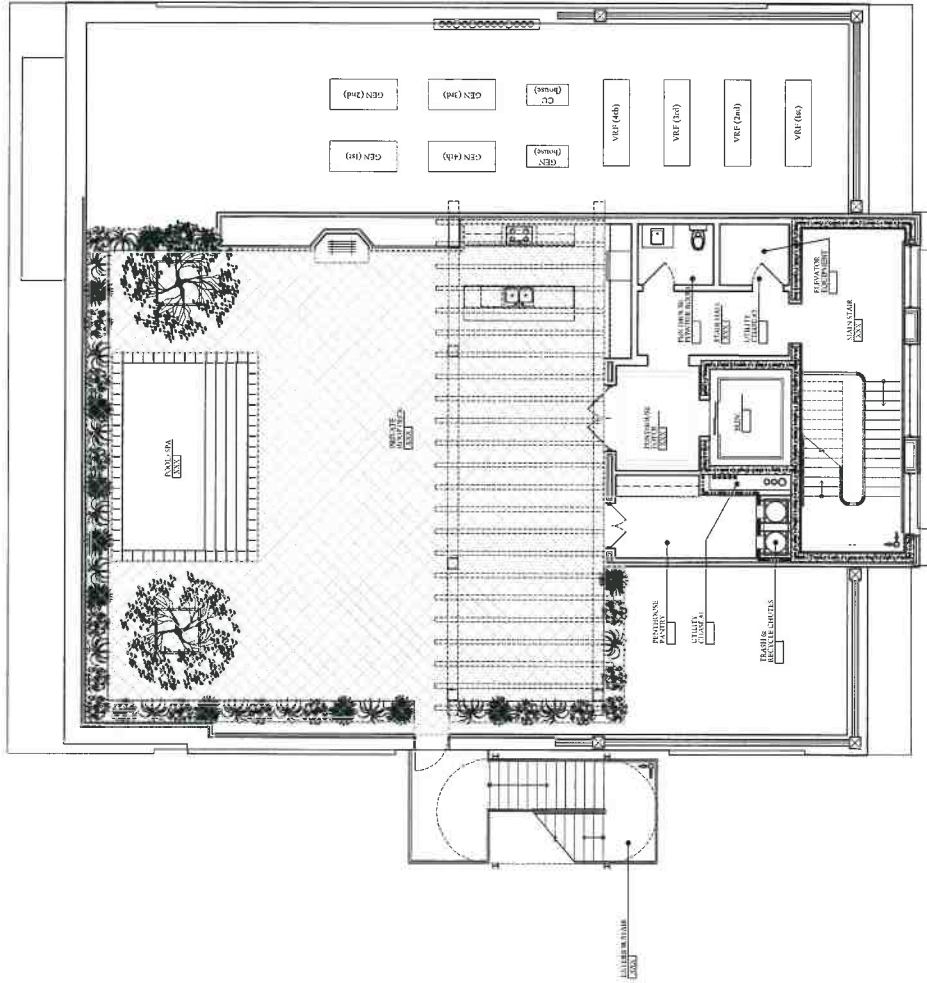
PUBLISHED DRAWINGS:  
 2019-018-001

SHEET NUMBER:

**A3.51**

NO REVISIONS

PROPOSED ROOF PLAN FOR PUD MODIFICATION APPLICATION  
 (PROJECT TO BE SUBMITTED TO PRELIMINARY PERMITTING)



LEVEL 5 - PENTHOUSE AND DECK PLAN  
 19.10

**CURIOS PROJECTS**  
CREATIVE  
ARCHITECTURE  
DEVELOPMENT

PAULINE RIDGE ROAD  
WESTLAKE, GEORGIA 30343  
817.837.7340

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PATRICK  
MALLOY  
COMMUNITIES  
PRESENTS

THE  
MAYORS  
UPPER EAST RIVER  
SAVANNAH, GEORGIA

PROJECT NUMBER:  
2019-016

SHEET TITLE:  
INTERIOR  
ELEVATIONS - SOUTH

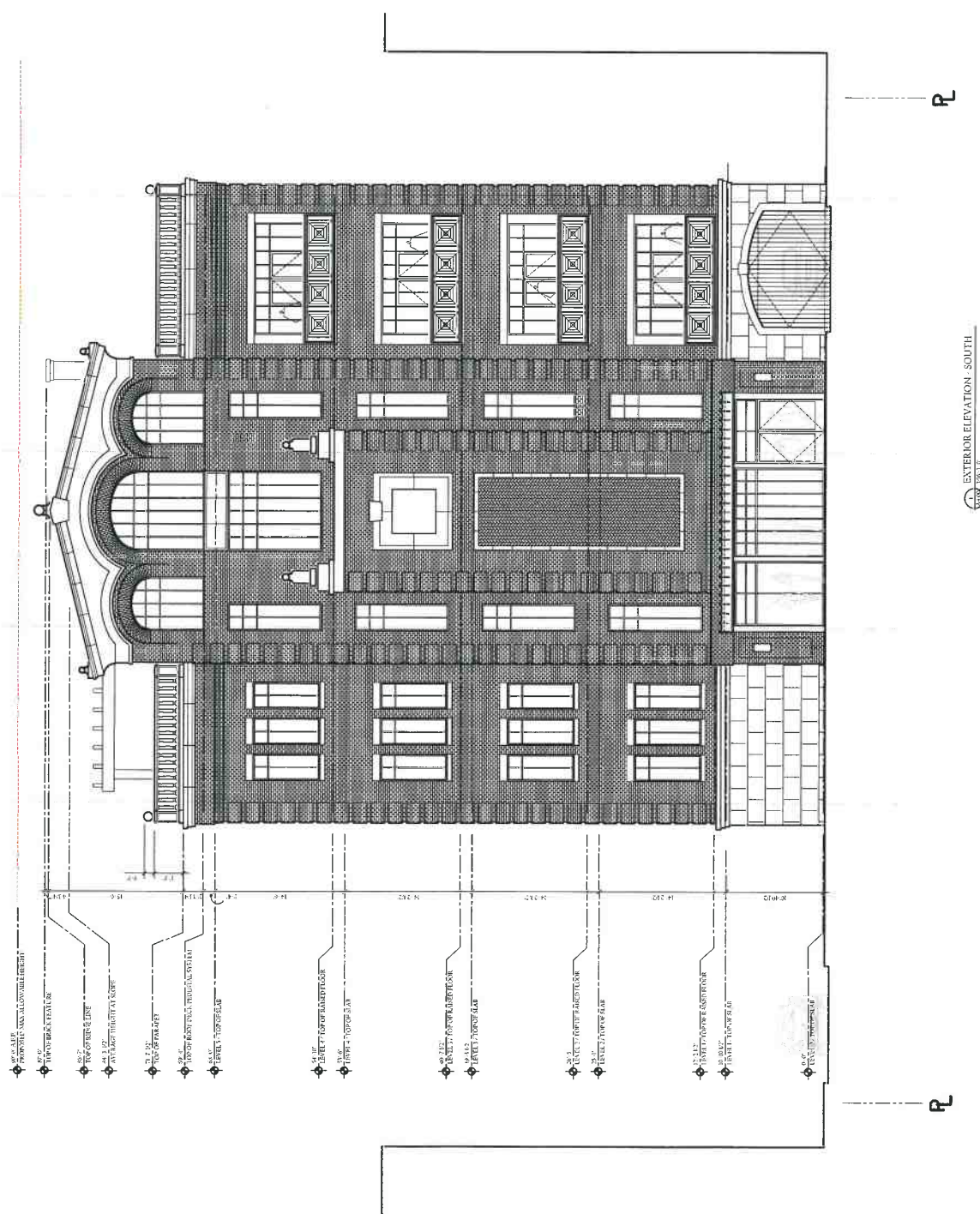
PUBLISHED DRAWINGS:  
DATE: 08/20/19  
BY: JMS

SHEET NUMBER:

A4.00

NO MODIFICATION APPLICATION

PROPOSED ELEVATION FOR PUD  
MODIFICATION APPLICATION  
CONSULTANT REVIEWED AND APPROVED FOR SUBMITTAL



- 12'-0" FINISH EXTERIOR WALL TOP
- 11'-0" FINISH EXTERIOR WALL TOP
- 10'-0" FINISH EXTERIOR WALL TOP
- 9'-0" FINISH EXTERIOR WALL TOP
- 8'-0" FINISH EXTERIOR WALL TOP
- 7'-0" FINISH EXTERIOR WALL TOP
- 6'-0" FINISH EXTERIOR WALL TOP
- 5'-0" FINISH EXTERIOR WALL TOP
- 4'-0" FINISH EXTERIOR WALL TOP
- 3'-0" FINISH EXTERIOR WALL TOP
- 2'-0" FINISH EXTERIOR WALL TOP
- 1'-0" FINISH EXTERIOR WALL TOP
- 0'-0" FINISH EXTERIOR WALL TOP

EXTERIOR ELEVATION - SOUTH  
DATE: 08/20/19

**CURIOUS  
PROJECTS**  
CREATIVE  
ARCHITECTURE  
DEVELOPMENT

7 AUTUMN RIDGE ROAD  
WESTPORT, GEORGIA 30187  
PHONE: 404.487.2100

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**PATRICK  
MALLOY**  
COMMUNITIES

PRESENTS:

**THE  
MAYORS**  
1175 EAST RIVER  
SAVANNAH, GEORGIA

**PROJECT NUMBER:**  
2019-016

**SHEET TITLE:**  
EXTERIOR  
ELEVATIONS - EAST

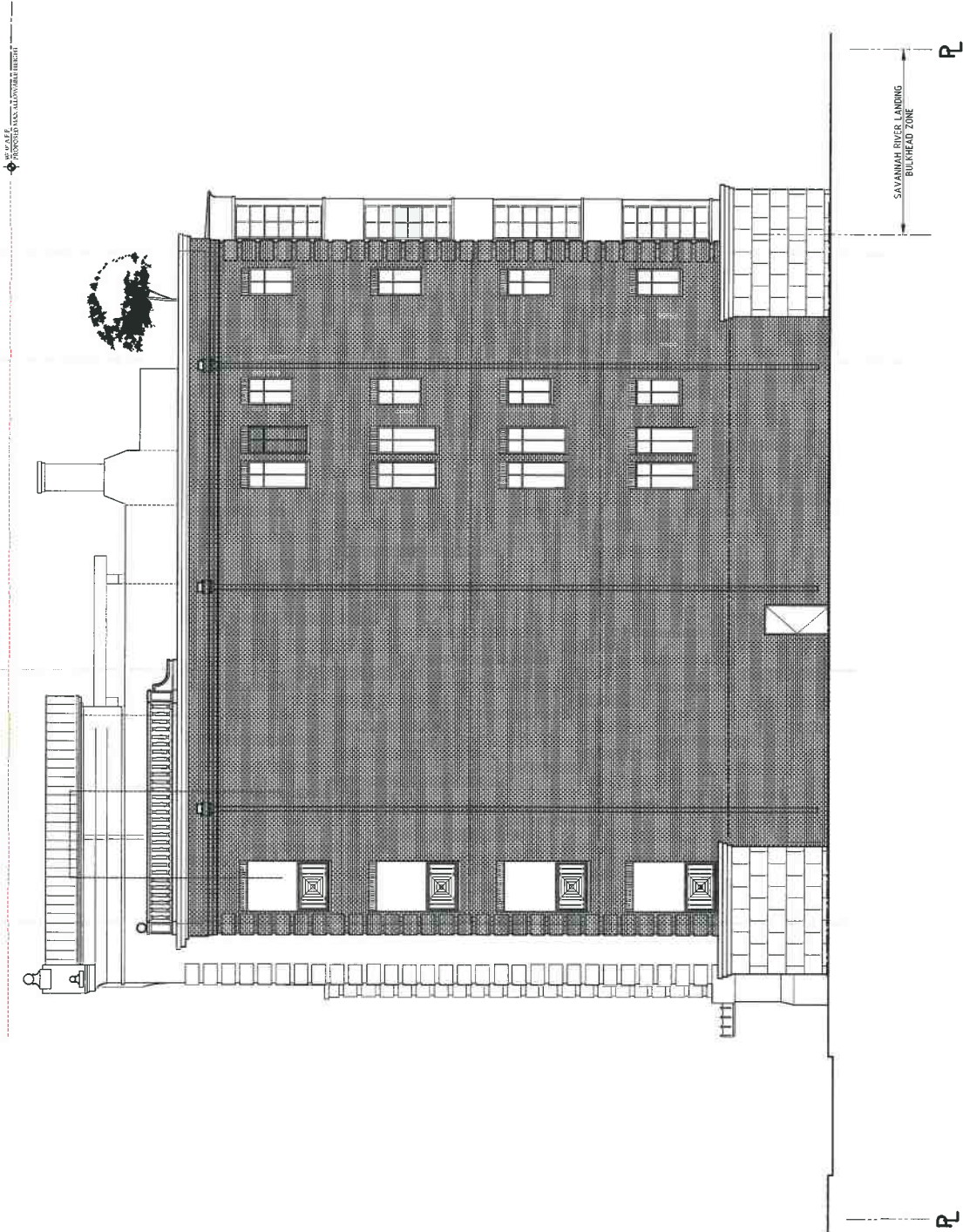
**PUBLISHED DRAWINGS:**  
DATE: 08/20/2019  
BY: JRM/MSW

**SHEET NUMBER:**

**A4.01**

PROPOSED ELEVATION APPLICATION

**PROPOSED ELEVATION FOR PUD  
MODIFICATION APPLICATION**  
ON PROJECT SUBJECT MATTER AND PROJECT IDENTIFICATION NUMBERS



EXTERIOR ELEVATION - EAST  
1/8" = 1'-0"

R

R

**CURIOS PROJECTS**  
 CREATIVE  
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PATRICK  
 MALLOY  
 COMMUNITIES  
 PRESIDENTS

THE  
 MAYORS  
 UPPER EAST RIVER  
 SAVANNAH, GEORGIA

PROJECT NUMBER:  
 2017-016

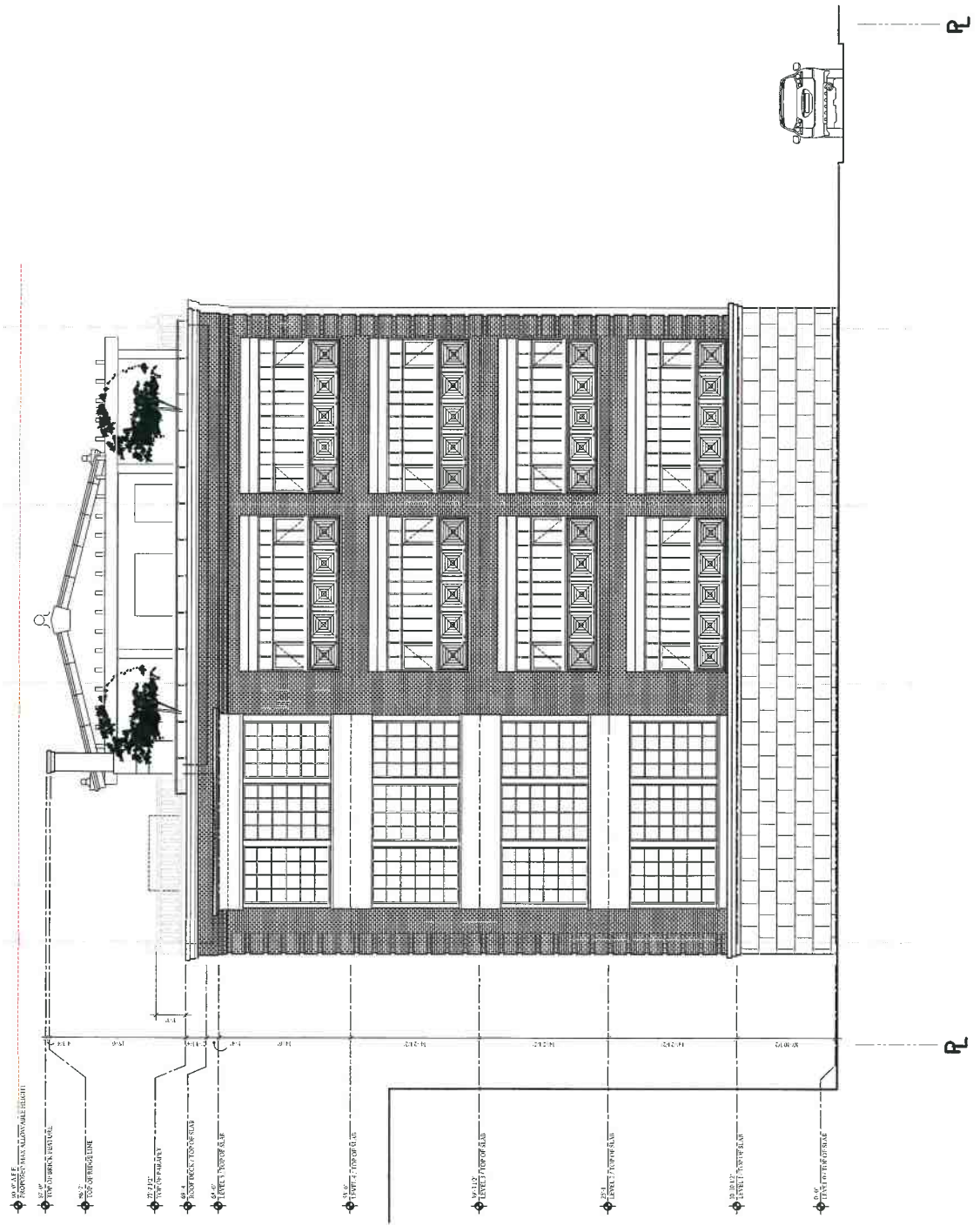
SHEET TITLE:  
 EXTERIOR ELEVATION - NORTH  
 ELEVATIONS - NORTH

PUBLISHED DRAWINGS:  
 DATE: 08/20/18  
 DRAWN BY: JACOB

SHEET NUMBER:

A4.02

PROPOSED ELEVATION FOR PUD  
 MODIFICATION APPLICATION  
 (SHEET TO BE REVISED UPON PUD MODIFICATION APPROVAL)



EXTERIOR ELEVATION - NORTH  
 PUD MODIFICATION APPLICATION

*MASTER ARCHITECTURAL COMMITTEE  
EASTERN WHARF MASTER ASSOCIATION, INC.  
3340 Peachtree Road, NE  
Suite 1400  
Atlanta, GA 30326  
404-364-1400*

**VIA EMAIL ONLY**

May 14, 2020

Mr. Patrick Malloy  
PMC SRL, LLC

Email: patrick@pmcommunities.com

RE: Upper East River -Savannah, Georgia  
Request for Re-zoning  
Request for Design Guideline Modifications:  
Mayor's Buildings and Hamilton Buildings

Dear Mr. Malloy:

This is a follow up to our letter of April 22, 2020. After your recent conversations with the City of Savannah and the Metropolitan Planning Commission, you have requested that we review and approve several changes to the Text Amendment. Please see our approval on the attached. Our approval is expressly conditioned on the same conditions contained in our April 22, 2020 letter. We have re-stated those conditions below for convenience.

**ZONING TEXT AMENDMENT:** The MARC approves SRL - PMC, LLC request to submit the attached Text Amendment to the City of Savannah and the Metropolitan Planning Commission. SRL-PMC agrees to keep us informed of all communications regarding this amendment. No changes are authorized without our further our further approval.

The approval of this zoning modification submittal in no way permits any change to the Design Guidelines or grants any other approvals to SRL-PMC, LLC. All conditions in the Declaration remain fully in force.

**MAYOR'S BUILDINGS:**

The Mayor's Buildings are approved at 3 specific locations (see April 22, 2020 attachments) and only for the height and general configuration approved on the attached. There is no architectural approval granted at this time – a complete submittal will be required at a later date.

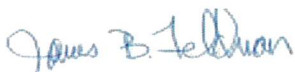
**HAMILTON BUILDINGS:**

The Hamilton Building is approved at one of the two specific locations approved (see April 22, 2020 attachment) and only for the height and general configuration approved on the attached. There is no architectural approval granted at this time – a complete submittal will be required at a later date. Please note this approval is specifically conditioned with the caveat that unless and until there is an agreement with the Declarant, in its sole discretion, to increase overall density, you will need to forego the construction of 12 units at one of the Type E locations. For further clarity - since the two Type E locations are approved for 20 units each (40 units combined), if you build 32 on one site, the other only has 8 units of density remaining. Nothing in this approval in any way modifies the density restrictions currently in place.

The review, comments and/or consent to Applicant's submission for proposed construction in no way relieves Applicant of any of Applicant's obligations under the Master Declaration and the Design Guidelines or in any way modifies the Master Declaration and /or the Design Guidelines. The MARC's approval of any architect, engineer or contractor is in no way an endorsement of those entities. Applicant and its consultants / contractor(s) are solely responsible for the project design and its: (i) conformance to applicable Zoning, Building codes and applicable Federal, State, Regional and Local law and ordinances; and (ii) compliance with the Master Declaration and the Design Guidelines. Any deficiency in compliance, design or construction, although same had prior approval of the MARC, Master Declarant or the Master Association, shall be solely the responsibility of Applicant.

Sincerely,

MASTER ARCHITECTURAL REVIEW COMMITTEE



James B. Feldman



Kevin Kiefer



Ian Smith

AGREED TO:

By:   
Patrick Malloy  
SRL-PMC, LLC

Date: 5/14/2020

## Zoning Text Amendment Application

Please type or print legibly. Attach additional sheets, if necessary, to fully answer any of the following sections. Incomplete applications will not be scheduled by the Metropolitan Planning Commission (MPC) until deficiencies are corrected. Additional instructions and information regarding the amendment process are attached. **SUBMIT 1 COMPLETED ORIGINAL APPLICATION FORM AND 1 COPY TO THE OFFICE OF THE CLERK OF COUNCIL.** Applicants are requested to contact the MPC staff at 912.651.1440 and City planning staff at 912.651.6530 prior to submitting an application.

### I. Action Requested

#### A. Text Amendment

1. Identify the specific section(s) number(s) of the Zoning Ordinance sought to be amended.

Savannah River Landing Planned Unit Development:  
Section 8-3351. General Development Standards.  
Section 8-3353. Definitions. Multi-Family Residential.  
Section 8-3353. Definitions. Stacked Townhouse.  
Master Plan.

- a) What is the existing text requested to be repealed, if any?  
Please see attached exhibits.

- b) What is the proposed text, if any?  
Please see attached exhibits.

**EW MARC OK  
TO SUBMIT  
05-14-2020**

2. State the reason(s) for the text amendment.

Sec. 8-3351. General Development Standards: To permit the allowable front yard setback, in limited areas, to be increased from 12 feet to 25 feet. New building design utilizes vehicular courtyard drop-off within the setback, which requires the building to be set back from the right-of-way.

Sec.8-3353. Definitions. Multi-Family Residential: To permit multi-family residential to include buildings with 4 or more units.

Sec. 8-3353. Definitions. Stacked Townhouse: To permit more than one unit above another unit and to allow for one common interior lobby / courtyard entrance to the building, with each unit possessing an entrance off of the interior lobby.

Master Plan: To permit a height of 80 feet within the MU-R-4B and MU-R-5B district and to permit a height of 90 feet within the MU-R-1B district.

**B. Application History**

Have any previous applications been made for a similar text amendment?

Yes

No

If yes, please provide the file number(s):

**II. Petitioner Information**

Name(s): PMC SRL, LLC

Registered Agent: J. Patrick Malloy

(Or Officer or Authorized Signatory, if Petitioner is not an individual)

Address: 4770 South Atlanta Road, Suite 100

City, State, Zip: Atlanta, Georgia 30339

Telephone:

Fax:

E-mail address:

**EW MARC OK  
TO SUBMIT  
05-14-2020**

**III. Agent, if different from Petitioner** (Note: If the petitioner(s) will have an agent serve on his or her behalf, the petitioner(s) must complete the attached Letter of Authorization. If the agent changes after submitting the application and the agent is not the petitioner, a new authorization form will be required.)

Name(s): Harold B. Yellin, Josh Yellin

Firm or Agency: HunterMaclean

Address: 200 East Saint Julian Street

City, State, Zip: Savannah, Georgia 31401

Telephone: 912-236-0261

Fax:

E-mail address: hyellin@huntermaclean.com



**IV. Items Required to be Submitted with an Application for Text Amendment**

- A. **Application. A COMPLETED ORIGINAL APPLICATION FORM AND ONE COPY.**
- B. **Submittal Fee.** A non-refundable filing fee of \$600 payable to "City of Savannah". Fee is subject to change.
- C. **Notarized Authorization Form.** If the petitioner will not represent the petition, a signed, notarized statement from the petitioner authorizing the agent to act on his behalf is required.
- D. Is this request related to another review, such as a Certificate of Appropriateness (COA), Subdivision, Site Permit (General Development Plan), Business Location Approval, Rezoning (Map Amendment), Special Use, or Zoning Board of Appeals? If so, please provide the Plan/Permit # \_\_\_\_\_ and associated Staff Report/Decision.

**V. Certification**

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures, and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date. I understand that the approval of an application for zoning text amendment by the Mayor & Aldermen does not constitute a waiver from any applicable local, state, or federal regulations.

Applicant Name: Joshua Yellin		04/21/2020
Print	Signature	Date

**Contacts**

- Office of the Clerk of Council: 2 E Bay St, City Hall, Savannah, GA, 31401 ~ P.O. Box 1027, Savannah, GA, 31402 (Phone: 912.651.6441)
- Planning & Urban Design: 5515 Abercorn St, Savannah, GA, 31405 (L Services Building) ~ P.O. Box 1027, S 912.651.6530)
- The Planning Commission: 110 E State St, Savannah, GA, 31401 ~ P.O. 31412 (Phone: 912.651.1440)

**EW MARC OK  
TO SUBMIT  
05-14-2020**

**Letter of Authorization**

I (we) authorize Harold B. Yellin and Joshua Yellin (Agent  
Name) of HunterMaclean (Firm  
or Agency, if applicable) to serve as agent on my (our) behalf for the purpose of making and  
executing this application for the proposed request.

**Petitioner(s)**

Name(s): PMC SRL, LLC

Registered Agent: J. Patrick Malloy

(Or Officer or Authorized Signatory, if Petitioner is not an Individual)

Signature(s)

4/21/2020  
Date

**Witness Signature Certificate**

State of Georgia

County of \_\_\_\_\_

Signed or attested before me on \_\_\_\_\_  
Date

by

\_\_\_\_\_  
(Printed name(s) of individual(s) signing document)

who proved to me on the basis of satisfactory evidence to be the person(s) who appeared  
before me.

\_\_\_\_ Personally Known or \_\_\_\_ Produced Identification Type of ID

\_\_\_\_\_  
Signature of notary public

\_\_\_\_\_  
(Name of notary, typed, stamped or printed)  
Notary Public State of Georgia

My commission expires: \_\_\_\_\_

**EW MARC OK  
TO SUBMIT  
05-14-2020**

**Sec. 8-3351. General Development Standards. (3) Residential and Non-residential Development Standards. Table 2.**

**Table 2: Development Standards**

Use	Density	Lot Size Per Unit (min)	Lot Width (min)	Yard Setbacks	Building Lot Coverage (max)	Building Lot Coverage (max)	Height
Multi-family dwelling	See Master Plan	None	30 ft	<p>Front Yard: Min.: 0 ft &amp; Max.: 12 ft.</p> <p><u>Within the MU-R-1B max.: 25 ft.</u></p> <p>Side Yard: Interior to Block Min.: 0 ft &amp; Max.: N/A</p> <p>Side Yard: Corner Min.: 0 ft &amp; Max: N/A</p> <p>Rear Yard: Min.: 0 ft &amp; Max.: N/A</p>	100%	70%	See Master Plan

**EW MARC OK  
TO SUBMIT  
05-14-2020**

**Sec. 8-3353. Definitions.**

***Multi-family Residential.*** A residential building containing ~~five~~ four or more dwelling units. Each multi-family residential building shall consist of one or more dwelling units per floor.

...

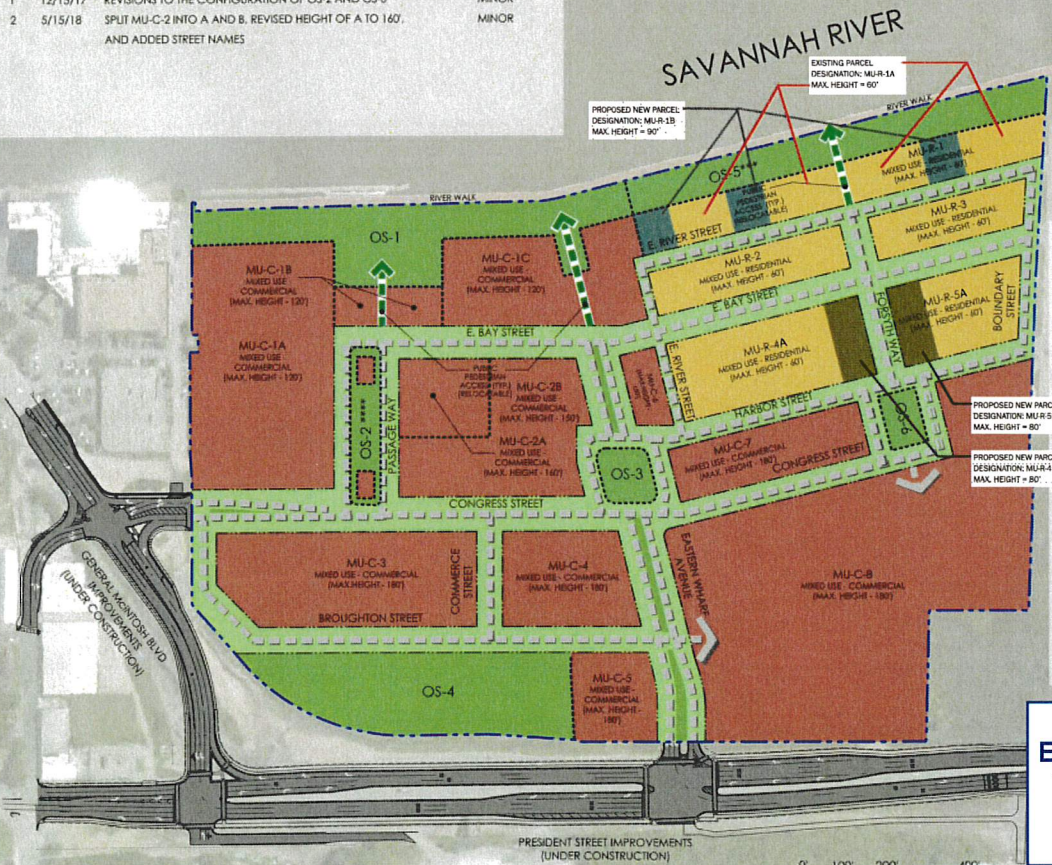
***Stacked Townhouse.*** A multifamily residential building with ~~4 to 16 attached~~ multifamily residential dwelling units consolidated into a single structure. ~~Each unit shares a common wall.~~ Units ~~are~~ may be mixed vertically, horizontally, or both vertically and horizontally; ~~however no more than 1 unit is permitted above another unit.~~ Each unit must have its own entrance either facing the street or facing an interior lobby or courtyard.

**EW MARC OK  
TO SUBMIT  
05-14-2020**

MASTER PLAN MODIFICATIONS

#	DATE	DESCRIPTION	MAJOR OR MINOR
1	12/15/17	REVISIONS TO THE CONFIGURATION OF OS-2 AND OS-6	MINOR
2	5/15/18	SPLIT MU-C-2 INTO A AND B, REVISED HEIGHT OF A TO 160' AND ADDED STREET NAMES	MINOR

SAVANNAH RIVER  
LANDING PUD  
MASTER PLAN  
CITY OF SAVANNAH, GEORGIA  
PREPARED FOR:  
SAVANNAH RIVER LANDING  
LAND JV LLC  
ADOPTED BY COUNCIL ON: APRIL 27, 2017  
T&H JOB #: 26193.0000



LEGEND/ SUMMARY

BLOCK IDENTIFICATION SYMBOL	DENSITY*
OVERALL PUD BOUNDARY	± 56.0 AC.
(OS) - OPEN SPACE	N/A
(MU-C) - MIXED USE - COMMERCIAL	100 D.U. / AC.
(MU-R) - MIXED USE - RESIDENTIAL	50 D.U. / AC.

- \*\*PROPOSED PUBLIC STREET NETWORK
- PUBLIC PEDESTRIAN ACCESS(E)S

\*DENSITY IS BASED ON THE GROSS ACREAGE OF THE DEVELOPMENT TRACT OR BLOCK (TO INCLUDE THE AREA OF ANY STREETS, ROADS OR OTHER CAR AREAS THAT ARE BEING CONSTRUCTED AS PART OF ANY PARTICULAR PHASE OR PROJECT)

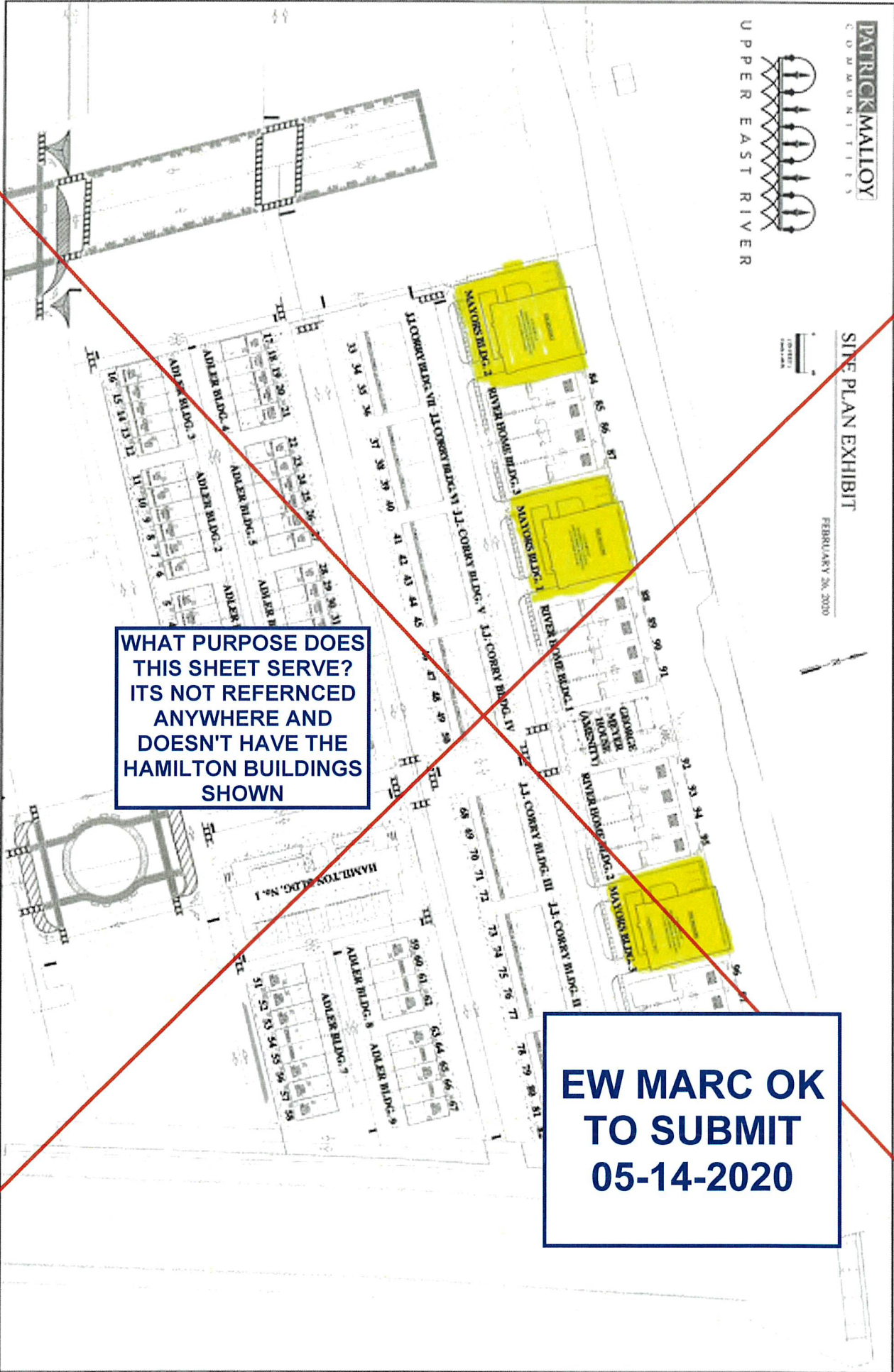
\*\*FINAL ALIGNMENTS AND RIGHT OF WAY WIDTHS MAY VARY FROM THAT SHOWN AND ADDITIONAL STREETS MAY BE ADDED WITHOUT REQUIRING A MASTER PLAN AMENDMENT. SEE DEVELOPMENT AGREEMENT FOR REQUIRED STREET SECTIONS.

\*\*\*OS-3 OPEN SPACE REPRESENTS THE NO BUILD AREA WITHIN THE RIVERFRONT RESIDENTIAL LOTS. THESE LOTS SHALL BE PRIVATELY OWNED AND MAINTAINED AND ARE NOT PUBLICLY ACCESSIBLE.

\*\*\*\*THE LOCATIONS OF THE RETAIL LOTS IDENTIFIED IN OS-2 CAN BE MOVED AROUND THE OS AREA, BUT WILL NOT RESULT IN MORE THAN 5,000 TOTAL SQUARE FOOTAGE OF RETAIL, WITHIN THE OS AREA.

**EW MARC OK  
TO SUBMIT  
05-14-2020**





WHAT PURPOSE DOES THIS SHEET SERVE? ITS NOT REFERENCED ANYWHERE AND DOESN'T HAVE THE HAMILTON BUILDINGS SHOWN

EW MARC OK TO SUBMIT 05-14-2020

**Sec. 8-3351. General Development Standards. (3) Residential and Non-residential Development Standards. Table 2.**

**Table 2: Development Standards**

Use	Density	Lot Size Per Unit (min)	Lot Width (min)	Yard Setbacks	Building Lot Coverage (max)	Building Lot Coverage (max)	Height
Multi-family dwelling	See Master Plan	None	30 ft	<p>Front Yard: Min.: 0 ft &amp; Max.: 12 ft.</p> <p><u>Within the MU-R-1B max.: 25 ft.</u></p> <p>Side Yard: Interior to Block Min.: 0 ft &amp; Max.: N/A</p> <p>Side Yard: Corner Min.: 0 ft &amp; Max.: N/A</p> <p>Rear Yard: Min.: 0 ft &amp; Max.: N/A</p>	100%	70%	See Master Plan

**Sec. 8-3353. Definitions.**

***Multi-family Residential.*** A residential building containing ~~five~~ four or more dwelling units. Each multi-family residential building shall consist of one or more dwelling units per floor.

...

***Stacked Townhouse.*** A multifamily residential building with ~~4 to 16 attached~~ multifamily residential dwelling units consolidated into a single structure. ~~Each unit shares a common wall.~~ Units ~~are~~ may be mixed vertically, horizontally, or both vertically and horizontally; ~~however no more than 1 unit is permitted above another unit.~~ Each unit must have its own entrance either facing the street or facing an interior lobby or courtyard.

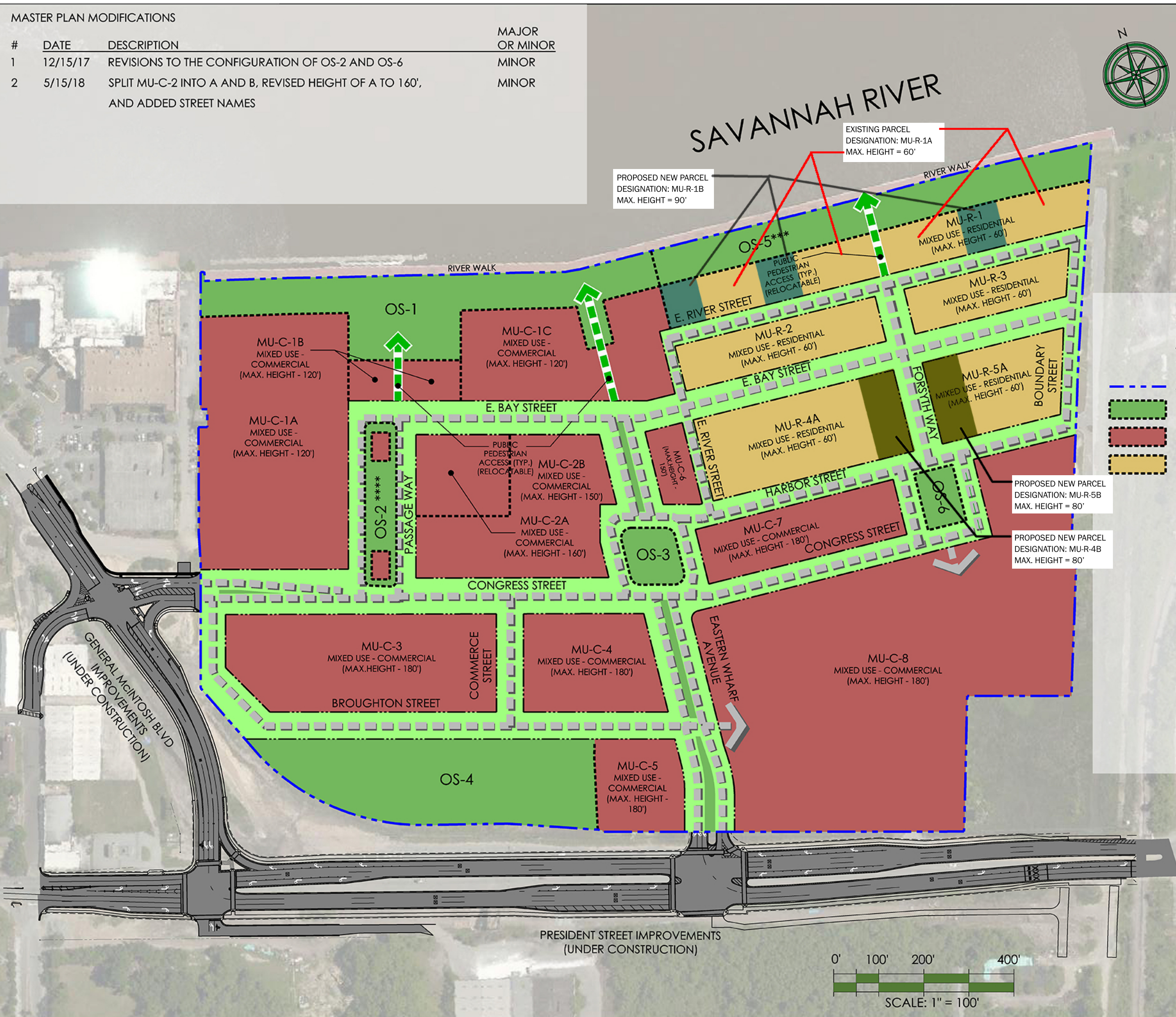


MASTER PLAN MODIFICATIONS

#	DATE	DESCRIPTION	MAJOR OR MINOR
1	12/15/17	REVISIONS TO THE CONFIGURATION OF OS-2 AND OS-6	MINOR
2	5/15/18	SPLIT MU-C-2 INTO A AND B, REVISED HEIGHT OF A TO 160', AND ADDED STREET NAMES	MINOR



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